

Planning Commission Regular Meeting Agenda

March 28, 2022

5:30 P.M.

Council Chambers
22 Civic Center Plaza
Santa Ana, CA

Members of the public may attend this meeting in-person or join via Zoom.

Join from your computer: <https://zoom.us/j/86861722227>

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For detailed participation and commenting options, please review the instructions provided at the end of this agenda.

To download or view each item, select either Download PDF or View Item Details to the right of the agenda title.



THOMAS MORRISSEY
Chair, Ward 6 Representative

ERIC M. ALDERETE
Citywide Representative

BAO PHAM
*Vice-Chair,
Ward 1 Representative*

MIGUEL CALDERON
Ward 2 Representative

ISURI S. RAMOS
Ward 3 Representative

MARK McLOUGHLIN
Ward 4 Representative

ALAN WOO
Ward 5 Representative

MinhThai
Executive Director

John Funk
Legal Counsel

Fabiola Zelaya Melicher, AICP
Planning Manager

Christina Leonard
Recording Secretary



In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this Meeting, contact Michael Ortiz, City ADA Program Coordinator, at (714) 647-5624. Notification 48 hours prior to the Meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting. The City Council agenda and supporting documentation can be found on the City's website – www.santa-ana.org/city-meetings.

CALL TO ORDER

Commissioners:

**Thomas Morrissey, Chair
Bao Pham, Vice-Chair
Eric M. Alderete
Miguel Calderon
Mark McLoughlin
Isuri S. Ramos
Alan Woo**

**Executive Director
Senior Asst. City Attorney
Planning Manager
Recording Secretary**

**Minh Thai
John Funk
Fabiola Zelaya Melicher
Christina Leonard**

ROLL CALL

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS (non agenda items)

CONSENT CALENDAR ITEMS

a. Minutes

Recommended Action: Approve Minutes from March 14, 2022 meeting.

b. Excused Absences

Recommended Action: Excuse absent commissioners.

****End of Consent Calendar****

BUSINESS CALENDAR

Public Hearing: *The Planning Commission decision on Conditional Use Permits, Variances, Tentative Tract and Parcel Maps, Minor Exceptions, Site Plan Review, and Public Convenience or Necessity Determinations are final unless appealed within 10*

days of the decision by any interested party or group (refer to the Basic Meeting Information page for more information). The Planning Commission recommendation on Zoning and General Plan amendments, Development Agreements, Specific Developments, and Specific Plans will be forwarded to the City Council for final determination. Legal notice was published in the OC Reporter on March 16, 2022 and notices were mailed on said date.

1. Conditional Use Permit No. 2022-06 – Pedro Gomez, Case Planner.

Project Location: 2221 N Heliotrope Drive

Project Applicant: Chan Quang and Quynh Dinh Kieu (Property Owners)

Proposed Project: The applicant is requesting approval of Conditional Use Permit (CUP) No. 2022-06 to allow the construction of an accessory structure 23’ – 4” in height within the rear yard of an existing single-family residence located at 2221 North Heliotrope Drive. Pursuant to Section 41-232.5 of the Santa Ana Municipal Code (SAMC), accessory buildings more than fifteen feet in height or more than one story require approval of a CUP.

Environmental Impact: Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15303 of the CEQA Guidelines (Class 3/New Construction or Conversion of Small Structures) because the project involves the construction of a small accessory structure. Based on this analysis, Notice of Exemption, Environmental Review No. 2022-11 will be filed for this project.

Recommended Action: Adopt a resolution approving Conditional Use Permit No. 2022-06 as conditioned.

Administrative Matters

****End of Business Calendar****

STAFF COMMENTS

COMMISSIONER COMMENTS

ADJOURNMENT

The next meeting of the Planning Commission will be on April 11, 2022 at 5:30 PM in the Council Chambers located at 22 Civic Center Plaza, Santa Ana, CA 92701.

FUTURE AGENDA ITEMS

APPEAL INFORMATION

The formal action by the Planning Commission shall become effective after the ten-day appeal period, unless the City Council in compliance with section 41-643, 41-644 or 41-645 holds a public hearing on the matter, then the formal action will become effective on the day following the hearing and decision by the City Council. An appeal from the decision or requirement of the Planning Commission may be made by any interested party, individual, or group. The appeal must be filed with the Clerk of the Council, accompanied by the required filing fee, and a copy sent to the Planning Department, within ten days of the date of the Commission's action, by 5:00 p.m. If the final day to appeal falls on a City Hall observed holiday or a day when City hall is closed, the final day to appeal shall be extended to the next day City Hall is open for public business. Please note: Under California Government Code Sec. 65009, if you challenge in court any of the matters on this agenda for which a public hearing is to be conducted, you may be limited to raising only those issues which you (or someone else) raised orally at the public hearing or in written correspondence received by the Planning Commission or City Council at or before the hearing.

MEETING INFORMATION

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Submit a written comment

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- **E-mail** PBAcomments@santa-ana.org and reference the topic in the subject line.
- **Mail** to Chrisitna Leonard, Recording Secretary, City of Santa Ana, 20 Civic Center Plaza – M20, Santa Ana, CA 92701.

Deadline to submit written comments is 4:00 p.m. on the day of the meeting. Comments received after the deadline may not be distributed to the Commission but will be made part of the record.

Planning Commission Regular Meeting Agenda

March 14, 2022

5:30 P.M.

Council Chamber

22 Civic Center Plaza
Santa Ana, CA



THOMAS MORRISSEY

Chair, Ward 6 Representative

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*Acting Recording
Secretary*



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CALL TO ORDER

Commissioners:	Thomas Morrissey, Chair Bao Pham, Vice-Chair Eric M. Alderete Miguel Calderon Mark McLoughlin Isuri S. Ramos Alan Woo
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Executive Director Senior Asst. City Attorney Planning Manager Recording Secretary	Minh Thai John Funk Fabiola Zelaya Melicher Christina Leonard
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ROLL CALL**PLEDGE OF ALLEGIANCE****PUBLIC COMMENTS** (non agenda items)**CONSENT CALENDAR ITEMS**

a. Minutes

Recommended Action: Approve Minutes from February 28, 2022 meeting.

Minutes: *Minutes were approved. Chair Morrissey asked for clarification on verbiage and wording of February 28, 2022 Resolutions. Minutes revised for February 28, 2022 meeting, to accurately reflect the Planning Commission approval.*

Moved by Commissioner Woo, seconded by Commissioner Alderete to Approve.

YES: 5 – Eric Alderete, Miguel Calderon, Tom Morrissey, Isuri Ramos, Alan Woo

NO: 0 – **ABSTAIN:** 0 – **ABSENT:** 2 – Mark McLoughlin, Bao Pham

Status: 5 – 0 – 0 – 2 – **Pass**

b. Excused Absences

Recommended Action: Excuse absent commissioners.

Minutes: *Commissioner McLoughlin absent.*

Commissioner Bao arrived at 5:42pm.

Moved by Commissioner Woo, seconded by Commissioner Calderon to Approve.

YES: 6 – Eric Alderete, Miguel Calderon, Tom Morrissey, Bao Pham, Isuri Ramos, Alan Woo

NO: 0 – **ABSTAIN:** 0 – **ABSENT:** 1 – Mark McLoughlin

Status: 6 – 0 – 0 – 1 – **Pass**

****End of Consent Calendar****

BUSINESS CALENDAR

Public Hearing: *The Planning Commission decision on Conditional Use Permits, Variances, Tentative Tract and Parcel Maps, Minor Exceptions, Site Plan Review, and Public Convenience or Necessity Determinations are final unless appealed within 10 days of the decision by any interested party or group (refer to the Basic Meeting Information page for more information). The Planning Commission recommendation on Zoning and General Plan amendments, Development Agreements, Specific Developments, and Specific Plans will be forwarded to the City Council for final determination. Legal notice was published in the OC Reporter on March 3, 2022 and notices were mailed on said date.*

- 1. Conditional Use Permit No. 2022-01 and No. 2022-03 Case Planner, Eric Martin** to allow the after-hours sale of alcoholic beverages for off-site consumption at a new storage and warehouse facility with ancillary retail and delivery services.

Project Location: 2420 Cape Cod Way

Project Applicant: Jennifer Oden with Solomon, Saltsman and Jamieson, representing Gopuff (Applicant), on behalf of Rick D. Kagasoff (Property Owner),

Proposed Project: The applicant is requesting approval of Conditional Use Permit (CUP) Nos. 2022-01 and No. 2022-03 to allow the after-hours sale of alcoholic beverages for off-premise consumption (Type 21–General Off-Sale) at a new storage and warehouse facility with ancillary retail and delivery services. Pursuant to Section 41-196 of the Santa Ana Municipal Code (SAMC), establishments wishing to sell alcoholic beverages for off-premise consumption and wishing to sell such beverages between the hours of 12:00 a.m. (midnight) and 7:00 a.m. require approval of respective CUPs.

Environmental Impact: The Planning Commission will consider a determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines – Class 1 - Existing Facilities. Notice of Exemption, Environmental Review No. 2022-02 will be filed for this project.

Recommended Action: Adopt a resolution to approve Conditional Use Permit No. 2022-01 and Conditional Use Permit No. 2022-03

Moved by Commissioner Woo, seconded by Commissioner Calderon to Approve.

YES: 6 – Eric Alderete, Miguel Calderon, Tom Morrissey, Bao Pham, Isuri Ramos, Alan Woo

NO: 0 – **ABSTAIN:** 0 – **ABSENT:** 1 – Mark McLoughlin

Status: 6 – 0 – 0 – 1 – **Pass**

Minutes: *Recording Security reported that written communication was received.*

Chair Morrissey opened the Public Hearing. The applicant spoke in favor of the matter. There were no other speakers and the Public Hearing was closed.

Administrative Matters

****End of Business Calendar****

STAFF COMMENTS

COMMISSIONER COMMENTS

ADJOURNMENT

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FUTURE AGENDA ITEMS

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Deadline to submit written comments is 4:00 p.m. on the day of the meeting. Comments received after the deadline may not be distributed to the Commission but will be made part of the record.



City of Santa Ana
20 Civic Center Plaza, Santa Ana, CA 92701
Planning Commission Staff Report
March 28, 2022

Topic: CUP No. 2022-06 – 2221 N. Heliotrope Drive

RECOMMENDED ACTION

Adopt a resolution approving Conditional Use Permit No. 2022-06 as conditioned.

EXECUTIVE SUMMARY

Chan Quang and Quynh Dinh Kieu (Property Owners) are requesting approval of Conditional Use Permit (CUP) No. 2022-06 to allow the construction of an accessory structure within the rear yard of an existing single-family residence located at 2221 North Heliotrope Drive. Pursuant to Section 41-232.5 of the Santa Ana Municipal Code (SAMC), accessory buildings more than fifteen feet in height or more than one story require approval of a CUP.

The accessory structure was originally proposed at a height of 23'-4". However, after posting of the public hearing notices staff received neighborhood concerns regarding the proposed height. Therefore, staff worked directly with the applicant to reduce the proposed structure height an additional twenty inches, for an overall height of 21'-8". Staff is recommending approval of the applicant's request given the reduced height, and due to the proposed project having minimized impacts to surrounding areas and minimal change to the character or identity of the neighborhood.

DISCUSSION

Project Description

The applicant is proposing to construct a freestanding pavilion approximately 205 square feet in size and 21'-8" in height, within the rear yard area of an existing single-family residence. The pavilion is proposed to be located towards the south end of the property, approximately 60 feet from the front (west) property line and 25 feet from the rear (south) property line, behind an existing six foot high stucco wall. The pavilion would also be located approximately 65 feet south from the existing residence and approximately 55 feet from an existing, freestanding one-story garden house on the same property.

As designed, the structure would be ancillary and subordinate the main single-family residence. The height of the proposed structure in comparison to the main residence is illustrated on the architectural plan set provided by the architect (see Exhibit 4). The height of the existing residence is approximately 25 feet while the tallest point of the pavilion (pavilion roof peak) is proposed to be a maximum of 21’-8”. There are two additional structures on the site, including a freestanding one-story pool house/cabana and a freestanding one-story garden house. The pool house is approximately 13 feet in height, while the garden house is a maximum 15 feet in height to the tallest ridge point.

As described by the applicants, the pavilion is currently built in Vietnam. It’s built in a traditional Vietnamese design and was fabricated by Vietnamese artisans. The pavilion structure is proposed to be disassembled, shipped to Santa Ana, and reconstructed on the subject property. As proposed, the pavilion would share a similar design, materials, and cultural characteristics as the existing garden house on the site. Specifically, the structure would include prefabricated wood post members, traditional Vietnamese hand-carved wood details, and would include ceramic roofing tile.

Lastly, the installation of the structure would be designed and overseen by a licensed structural engineer and the structure would not include mechanical or plumbing equipment. The structure would include two electrical outlets and limited accent lighting, including two to four light fixtures within the structure and three to six landscape/up-lights at the base.

Table 1: Project and Location Information

Item	Information	
Project Address and Council Ward	2221 North Heliotrope Drive – Ward 3	
Nearest Intersection	Santa Clara Avenue and Heliotrope Drive	
General Plan Designation	Low Density Residential (LR-7)	
Zoning Designation	Single-Family Residence (R1)	
Surrounding Land Uses	North	Single-Family Residences
	East	Single-Family Residences
	South	Single-Family Residences
	West	Single-Family Residences
Property Size	0.90 acres (39,547 square feet)	
Existing Site Development	The subject site is developed with a two-story historic single-family residence known as the Maharajah House. The Maharajah House is individually listed on the Register of Historical Properties as “Landmark.”	
Use Permissions	Allowed with a conditional use permit (CUP)	
Zoning Code Sections Affected	Uses	Section 41-232.5

Site and Project Background

The site contains a historical structure known as the Maharajah House, which was constructed in 1938 and was placed in the Santa Ana Register of Historical Properties

(“Register”) and categorized as “Landmark” in 2003. The property qualifies for listing in the Santa Ana Register under Criterion 1 for its exemplification of the Art Moderne variant of the Moderne style and under Criterion 4b, for its association with a foreign ruling family, the Holkars of Indore, India. Moreover, the property satisfied two criteria for landmark categorization: “unique architectural significance” as an example of the Art Moderne style in Santa Ana and “historic/cultural significance” as the residence of a sitting ruler of Indore. For reference, additional historic information on the property can be found on Exhibits 6 and 7.

As mentioned, the subject site was previously improved with a freestanding one-story pool house/cabana built in 1955, and a freestanding one-story garden house with a porch, built in 2004. Similar to the proposed pavilion, the garden house was dismantled, shipped from Vietnam, and reconstructed on the property. The garden house was built in Vietnam circa 1847 and was brought over piece by piece to Santa Ana. At the time, the property owners also imported a bell tower with three 18th- and 19th-century bells, marble sculptures, a collection of 11th-century foo dogs, and a water feature.

The building permits for the garden house were reviewed and processed administratively by City staff. Pursuant to Chapter 30 of the SAMC, on-site accessory structures can be reviewed and approved administratively by staff. Therefore, the structure was not required to be reviewed by any discretionary body due to the fact that it’s considered an accessory structure, it was no more than 15 feet in height, and did not physically change and/or alter the Maharajah House.

In 2021, the applicant submitted a request to allow construction of the 21’-8” tall pavilion in the property’s rear yard that is the subject of this application. Although accessory structures can be reviewed administratively, accessory buildings more than fifteen feet in height or more than one story require approval of a CUP.

Project Analysis

CUP requests are governed by Section 41-638 of the SAMC. CUPs may be granted when it can be shown that the proposed project will not adversely impact the community. If these findings can be made, then it is appropriate to grant the CUP. Conversely, the inability to make these findings would result in a denial. The purpose of regulating the height of accessory structures within single-family residential zones is to minimize impacts to surrounding areas and ensure the structures will provide a positive contribution to neighborhood character and identity.

The installation of the proposed structure would not result in a change to the existing land use. Instead, the property will continue to be used as it was historically, as a single-family residence. In addition, the proposed structure has been designed to be located away from adjacent properties to minimize the privacy concerns and visual impacts. By locating the

structure towards the south end of the property, the design limits the potential impacts to the single-family properties located towards the east, along Greenleaf Street. Moreover, by setting back the structure approximately 25 feet from the rear (south) property line, the design limits any potential impacts to the property to the south. Lastly, the design ensures that the neighborhood character is maintained along the front elevation by locating the structure approximately 60 feet from the front property line. Therefore, the construction of the proposed pavilion will not result in a change to the neighborhood character or identity.

The property features a deep front yard from the sidewalk to the entrance (between 60-70 feet), along Heliotrope Drive. The front yard is improved with various mature trees varying in height, including two species of palm trees. In addition, the public right-of-way parkways are improved with mature oak trees along Heliotrope Drive, which further help to minimize the privacy concerns and visual impacts of the proposed structure. The existing landscaping and mature trees are not proposed to be removed or altered. To ensure that the existing landscaping conditions are maintained, staff is recommending a condition of approval requiring that the trees be preserved and protected in place. Moreover, staff is recommending a condition of approval requiring that the applicant plant at least two columnar trees along the front of the existing six-foot high stucco wall, to introduce plant materials with similar heights immediately adjacent to the proposed pavilion.

Historic Consideration

Although the pavilion's proposed design (traditional Vietnamese design) differs from the characteristic Art Moderne style of the residence, the structure would not detract from the overall historic significance of the property. With the previous installation of the 1955 pool house, and the Vietnamese one-story garden house, along with the additional Vietnamese antiquities (e.g. bell tower, marble sculptures, 11th-century foo dogs, and a water feature), the site has taken on an eclectic architectural style. Moreover, the pavilion would share a similar design, materials, and cultural characteristics as the existing garden house on the site. Therefore, the addition of the pavilion would complement the site's various structures.

In addition, the installation of the pavilion would not result in any physical alterations to the historic structure. As such, the building will continue to retain all of its character-defining features. Moreover, the structure would not impact any of the view sheds to the Maharajah House, along any public perspectives. As mentioned, the pavilion would be located south of the Maharajah House, 25 feet from the rear (south) property line, behind an existing six-foot high stucco wall. Therefore, all views of the historic structure along Heliotrope Drive and Santa Clara Avenue would remain unimpaired.

Chapter 30 of the SAMC defines modification as, "Any change, alteration, restoration, remodeling, rehabilitation, construction, or relocation of the physical exterior of a historic

structure.” Moreover, Section 30-6 (a) of the SAMC states that, “No exterior physical modifications, other than those identified by the historic resources commission for administrative approval by city staff, shall be permitted with respect to an historic structure until the historic resources commission approves such request at a duly noticed public hearing and issues a certificate of appropriateness.” The structure is not physically altering or changing the exterior of the Maharajah House. Therefore, no additional review by the Historic Resources Commission is required for this project.

Finally, the CUP will be consistent with several goals and policies of the General Plan. Policy 3.1 of the Land Use Element encourages development, which provides a positive contribution to neighborhood character and identity. Policy 4.1 of the same element encourages the maintenance of areas of the City with unique characteristics, which contribute positively to the area in which they are located. The proposed accessory structure will contribute to the already eclectic character and identity of the site without negatively affecting any of the adjacent residences or the site’s existing historical structure. Moreover, the installation of the structure will positively contribute to the neighborhood character, which has mix of high-quality architectural styles. Furthermore, Policy 4.2 encourages the retention of historical buildings and sites. The installation of the proposed pavilion structure would not require the removal or alteration of the existing residence, which is an historic structure. The overall design and massing of the new construction will be compatible with, but differentiated from the historic building, in keeping with required historic standards.

Public Notification and Community Outreach

Project notifications were posted, published, and mailed in accordance with City and State regulations. Copies of the public notice, including a 1,000-foot notification radius map, and the site posting are provided in Exhibit 7. At the time this report was printed, staff did receive neighborhoods concerns regarding the proposed CUP. These concerns were regarding the proposed location and/or design as it related to the historical integrity of the Maharajah House.

ENVIRONMENTAL IMPACT

Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15303 of the CEQA Guidelines (Class 3/New Construction or Conversion of Small Structures) because the project involves the construction of a small accessory structure. Based on this analysis, Notice of Exemption, Environmental Review No. 2022-11 will be filed for this project.

FISCAL IMPACT

There is no fiscal impact associated with this action.

EXHIBIT(S)

1. Resolution
2. Vicinity Zoning and Aerial View
3. Site Photos
4. Plan Set
5. Historic Summary
6. Historic Designation Resolution of Approval
7. Copy of Public Notices

Submitted By:
Pedro Gomez, AICP, Senior Planner

Approved By:
Minh Thai, Executive Director of Planning and Building Agency, Planning and Building Agency

RESOLUTION NO. 2022-XXX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA ANA APPROVING CONDITIONAL USE PERMIT NO. 2022-06 AS CONDITIONED TO ALLOW THE CONSTRUCTION OF AN ACCESSORY STRUCTURE EXCEEDING FIFTEEN FEET IN HEIGHT WITHIN THE REAR YARD OF THE PROPERTY LOCATED AT 2221 NORTH HELIOTROPE DRIVE.

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Planning Commission of the City of Santa Ana hereby finds, determines, and declares as follows:

- A. Chan Quang and Quynh Dinh Kieu (Property Owners), are requesting approval of Conditional Use Permit (CUP) No. 2022-06 to allow the construction of an accessory structure exceeding fifteen feet in height, within the rear yard area of an existing single-family residence located at 2221 North Heliotrope Drive.
- B. Santa Ana Municipal Code (“SAMC”) Section 41-232.5 requires approval of a CUP for accessory buildings more than fifteen feet in height or more than one story.
- C. The proposed accessory structure would be 21'-8” in height, requiring review and approval of a CUP.
- D. On March 28, 2022, the Planning Commission held a duly noticed public hearing on CUP No. 2022-06.
- E. The Planning Commission determines that the following findings, which must be established in order to grant a CUP pursuant to SAMC Section 41-638, have been established for CUP No. 2022-06 to allow the construction of an accessory structure exceeding fifteen feet in height at 2221 North Heliotrope Drive.
 1. That the proposed use will provide a service or facility which will contribute to the general well being of the neighborhood or community.

The proposed structure, a freestanding pavilion in the rear yard area designed in the traditional Vietnamese style, would have minimal impacts to surrounding areas and would provide a positive contribution to the neighborhood character and identity. In addition, the structure would not result in a change to the existing land use, as the site would continue to be used

as a single-family residence. Moreover, the proposed structure has been designed to be located away from adjacent properties to minimize the privacy concerns and visual impacts, to ensure that the use will not negatively affect the surrounding community.

2. That the proposed use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity.

The proposed construction of the accessory structure will not be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity. The structure would be limited in size (205 square feet) and located towards the south end of the property, approximately 60 feet from the front (west) property line and 25 feet from the rear (south) property line, behind an existing six-foot-high stucco wall. Moreover, the structure would be constructed for private use and enjoyment. In addition, the structure would be designed by a licensed structural engineer and would not include mechanical or plumbing equipment. The structure would include two electrical outlets and limited accent lighting, including two to four light fixtures within the structure and three to six landscape/up-lights at the base. However, staff is recommending a condition of approval limiting light intrusion onto neighboring properties. Therefore, the granting of the CUP will not negatively impact any sensitive land uses that may be nearby.

3. That the proposed use will not adversely affect the present economic stability or future economic development of properties surrounding the area.

The proposed use will not adversely affect the economic stability of the area or future economic development, as this would be a structure constructed for private use and enjoyment by private property owners in a single-family residential area. The pavilion is not intended to be enjoyed or visited by members of the general public and will therefore not change the character of the existing community.

4. That the proposed use will comply with the regulations and conditions specified in Chapter 41 for such use.

The proposed accessory structure will exceed the required regulations or development standards, pursuant to the single-family residential zoning. The structure would be located approximately 60 feet from the front property line, where the minimum setback is 20 feet, and would be located

approximately 25 feet from the side (rear) property line, where the minimum is 10 feet. Moreover, the new development will be compatible in scale, and consistent with the mix of architectural styles and character of the neighborhood.

5. That the proposed use will not adversely affect the General Plan of the city or any specific plan applicable to the area of the proposed use.

The proposed accessory structure will not adversely affect the General Plan. Policy 3.1 of the Land Use Element encourages development, which provides a positive contribution to neighborhood character and identity. Policy 4.1 of the same element encourages the maintenance of areas of the City with unique characteristics, which contribute positively to the area in which they are located. The proposed structure will contribute to the already eclectic character and identity of the site without negatively affecting any of the adjacent residences. In addition, the installation of the structure will positively contribute to the neighborhood, which has mix of architectural styles. Furthermore, Policy 4.2 encourages the retention of historical buildings and sites. The installation of the proposed structure would not require the removal of any elements of the historic structure. The overall design and massing of the new construction will be compatible with, but differentiated from the historic building, in keeping with required historic standards.

Section 2. In accordance with the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is categorically exempt from further review per Section 15303 (Class 3 – New Construction or Conversion of Small Structures). Class 3 exemption applies to the construction of accessory structures, including but not limited to, garages, carports, patios, swimming pools, and fences. Based on this analysis, a Notice of Exemption, Environmental Review No. 2022-11 will be filed for this project.

Section 3. The Applicant shall indemnify, protect, defend and hold the City and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers, and instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, referendum, and other proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and such other procedures), judgments, orders, and decisions (collectively “Actions”), brought against the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or

concerning the project, whether such Actions are brought under the Ralph M. Brown Act, California Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Code of Civil Procedure sections 1085 or 1094.5, or any other federal, state or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve the legal counsel providing the City's defense, and that Applicant shall reimburse the City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the Applicant of any Action brought and City shall cooperate with Applicant in the defense of the Action.

Section 4. The Planning Commission of the City of Santa Ana, after conducting the public hearing, hereby approves Conditional Use Permit No. 2022-06, as conditioned in Exhibit A, attached hereto and incorporated herein, for the project located at 2221 North Heliotrope Drive. This decision is based upon the evidence submitted at the above-referenced hearing, including but not limited to: The Request for Planning Commission Action dated March 28, 2022, and exhibits attached thereto; and the public testimony, written and oral, all of which are incorporated herein by this reference.

ADOPTED this 28th day of March, 2022 by the following vote.

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTENTIONS: Commissioners:

Thomas Morrissey
Chairperson

APPROVED AS TO FORM:
Sonia R. Carvalho, City Attorney

By: John M. Funk
John M. Funk
Sr. Assistant City Attorney

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, CHRISTINA LEONARD, Recording Secretary, do hereby attest to and certify the attached Resolution No. 2022-XXX to be the original resolution adopted by the Planning Commission of the City of Santa Ana on March 28, 2022.

Date: _____

Recording Secretary
City of Santa Ana

EXHIBIT A
Conditions of Approval for Conditional Use Permit No. 2022-06

Conditional Use Permit No. 2022-06 to allow the construction of an accessory structure exceeding fifteen feet in height is approved subject to compliance, to the reasonable satisfaction of the Planning Manager, with all applicable sections of the Santa Ana Municipal Code (SAMC), the California Building Standards Code, and all other applicable regulations:

The Applicant must comply with each and every condition listed below prior to exercising the rights conferred by this conditional use permit.

The Applicant must remain in compliance with all conditions listed below throughout the life of the conditional use permit. Failure to comply with each and every condition may result in the revocation of the conditional use permit.

1. Any amendment to the design of pavilion, including modifications to approved materials, finishes, architecture, and site plan, must be submitted to the Planning Division for review. At that time, staff will determine if administrative relief is available or if the Conditional Use Permit (CUP) must be amended.
2. The pavilion shall be limited in size to 205 square feet, 21'-8" in height, and shall be built in the rear yard, towards the south end of the property. The pavilion shall also maintain a minimum setback of 60 feet from the front (west) property line and 25 feet from the rear (south) property line, within the rear yard. Lastly, the pavilion shall maintain a minimum separation of 65 feet from the existing residence and approximately 55 feet from an existing, freestanding one-story garden house on the same property.
3. Any proposed lighting, including but not limited to, accent lighting within the structure or landscape/up-lights at the base, shall adhere to nighttime by shutoffs 10:00 p.m. to prevent light intrusion onto neighboring properties.
4. Any proposed lighting shall be arranged to prevent direct glare into adjacent dwelling units and onto neighboring uses. A photometric plan shall be required before permit issuance to ensure lighting levels are met and ensure that there is no light intrusion onto neighboring properties.
5. The pavilion shall remain a structure for private use and enjoyment by the private property owners, thereby preserving the community character. The pavilion shall not be designed or be intended for public access or members of the general public.
6. The property owner shall install/plant at minimum two columnar trees along the front of the existing six-foot high stucco wall (west elevation), to introduce plant materials with similar heights immediately adjacent to the proposed pavilion. The final plant species shall be reviewed and approved by planning staff.

7. The property owner shall maintain, preserve, and protect all existing landscaping on site, including but not limited to, mature trees, bushes, shrubs, and groundcover.
8. Prior to building permit final, the property shall be brought into full maintenance compliance with all applicable SAMC standards. Maintenance shall include, but is not limited to: the repair and upkeep of the property; cleanup of trash and debris; repair and upkeep of any damaged and/or weathered components of the historic building (e.g., siding, windows, historic features); repair and upkeep of exterior paint; landscaping and related landscape, furnishing, and hardscape improvements.

CUP-2022-06 2221 N. Heliotrope Drive

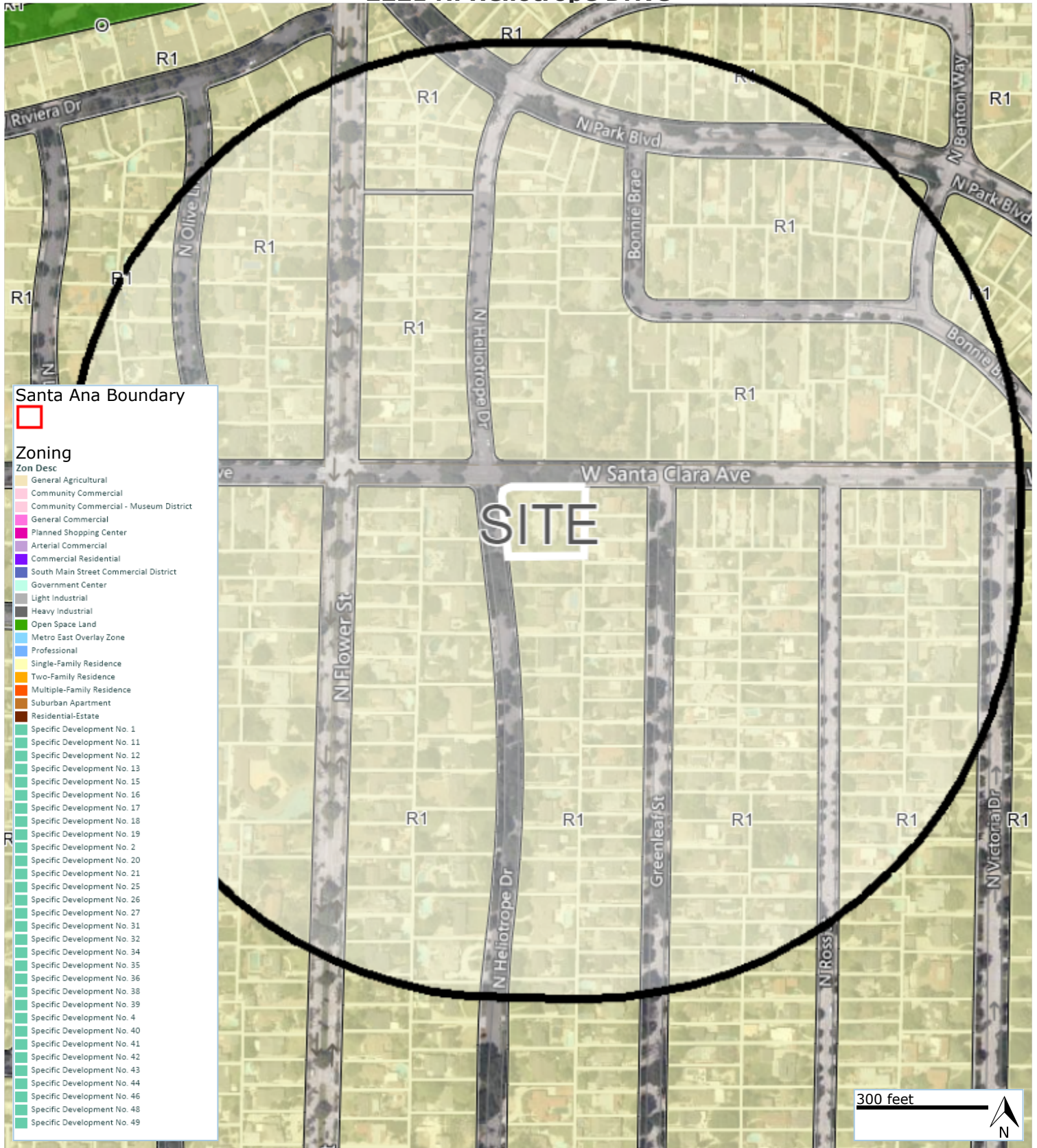


Exhibit 2 - Vicinity and Aerial View



3/28/2022

Planning Commission



CUP 2022-06
2221 N. HELIOTROPE DRIVE
SITE PHOTOS
EXHIBIT 3
1 – 15



CUP 2022-06
2221 N. HELIOTROPE DRIVE
SITE PHOTOS
EXHIBIT 3
1 – 16

SCOPE OF WORK

CONSTRUCTION OF A NEW 205 SQ FT FREESTANDING, UNENCLOSED, NON-HABITABLE PAVILION/GAZEBO IN BACKYARD OF PROPERTY.
NO CHANGE TO (E) HOME OR OTHER (E) STRUCTURES ON THE PROPERTY.

LEGEND OF PROJECT DATA

PROJECT ADDRESS:
2221 N. HELIOTROPE DR
SANTA ANA, CA 92706

ASSESSORS PARCEL NUMBERS: 002-081-45 AND 002-081-46

LEGAL DESCRIPTION: TR 1035 LOT 17, LOT 18 AND LOT 19 • •

GENERAL PLAN LAND USE DESIGNATION: LR 7.0

ZONING DISTRICT: R1

TOTAL LOT SIZE: 39,547 SF (0.908 ACRES)

HISTORIC PROPERTY: YES

HISTORIC DISTRICT: NO

TYPE OF CONSTRUCTION: V-B - NON-SPRINKLERED
PROPOSED NUMBER OF STORIES: N/A
PROPOSED STRUCTURE HEIGHT: 21' - 8"

OCCUPANCY OF PROPOSED BUILDING: N/A (ACCESSORY STRUCTURE)
OCCUPANCY OF EXISTING STRUCTURES: R-3

PROPOSED EXTERIOR WALL AND ROOF MATERIALS:
WALL: N/A, NOT ENCLOSED
ROOF: CERAMIC TILE

EXISTING BUILDINGS EXTERIOR WALL AND ROOF MATERIALS:
WALL: STUCCO
ROOF: ASPHALT SHINGLE

GOVERNING CODES:
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA GREEN BUILDING CODE (CALGREEN)
AHJ AND LOCAL CODES AND NFPA

CONTRACTOR: TO BE DETERMINED

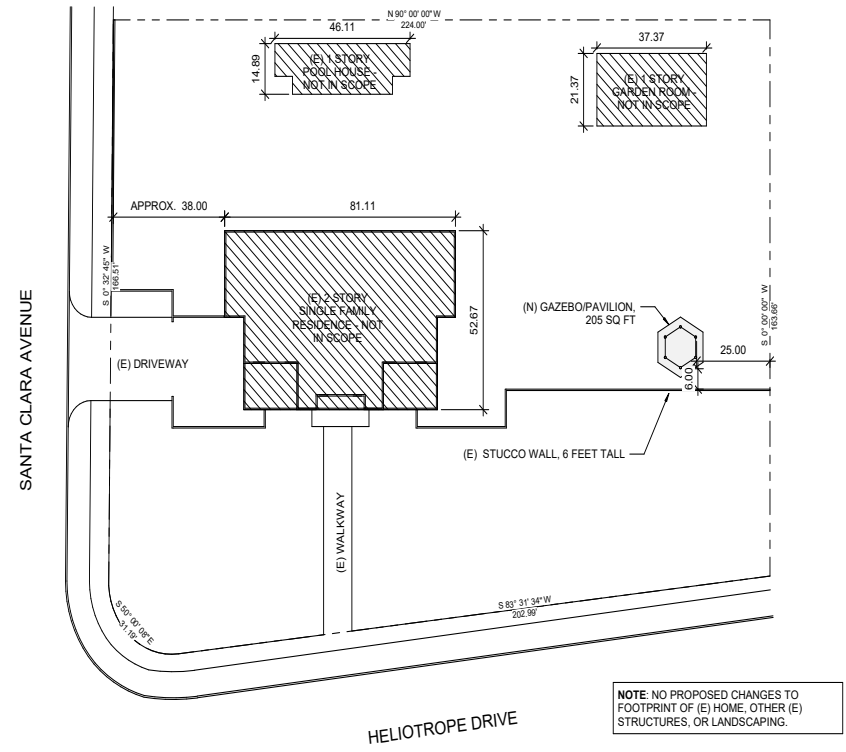
PROJECT TEAM

OWNERS' NAME AND ADDRESS:
DR. CHAN KIEU & DR. QUYNH KIEU
2221 N. HELIOTROPE DR
SANTA ANA, CA 92706

ARCHITECT / APPLICANT'S NAME AND ADDRESS:
QUENTIN STANTON, RA
QUENTIN STANTON ARCHITECTURE
323-925-7722
Q@QSTANTON.COM
1751 COLORADO BLVD., #333
LOS ANGELES, CA 90041

STRUCTURAL ENGINEER:
OMAR GARZA
NOUS ENGINEERING, INC.
213-627-6687
600 WILSHIRE BLVD, SUITE 760
LOS ANGELES, CA 90017

SITE PLAN / PLOT PLAN



HELIOTROPE PAVILION

2221 N. HELIOTROPE DR
SANTA ANA, CA 92706

OWNERS:
DR. CHAN KIEU & DR. QUYNH KIEU
2221 N. HELIOTROPE DR
SANTA ANA, CA 92706

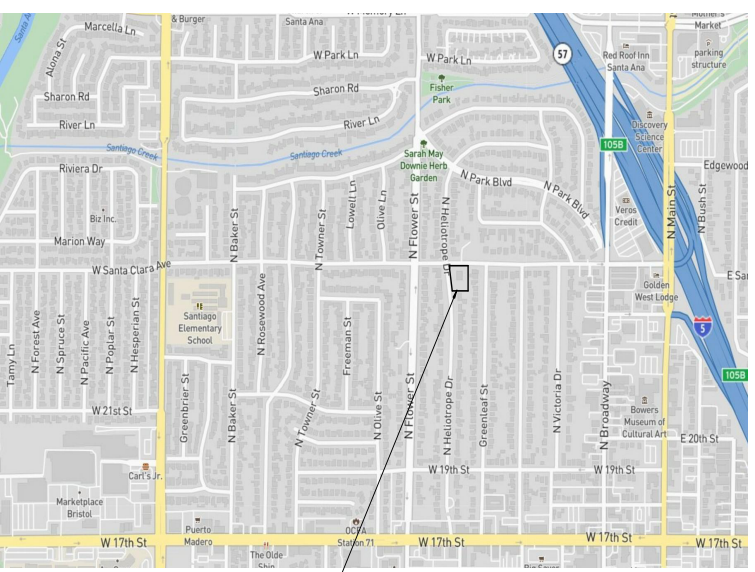
ARCHITECT:
QUENTIN STANTON
ARCHITECTURE
1751 COLORADO BLVD. #333
LOS ANGELES, CA 90041
(323)925-7722
Q@QSTANTON.COM

STRUCTURAL ENGINEER:
NOUS ENGINEERING,
INC.
600 WILSHIRE BLVD, SUITE 760
LOS ANGELES, CA 90017
(213)627-6687

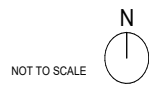
ISSUES:

NO.	DATE	DESCRIPTION
12/03/21	12/03/21	PLANG DEPT. SUB.
03/23/22	03/23/22	HEIGHT REVISION

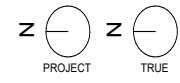
VICINITY MAP



3/28/2022
Planning Commission



2 SITE PLAN
1" = 20'-0"



DRAWING INDEX

- SHEET LIST - ARCHITECTURAL
- G000 COVER SHEET
 - G100 ELEVATION FROM HELIOTROPE
 - A101 FLOOR PLAN, SECTION & ELEVATION

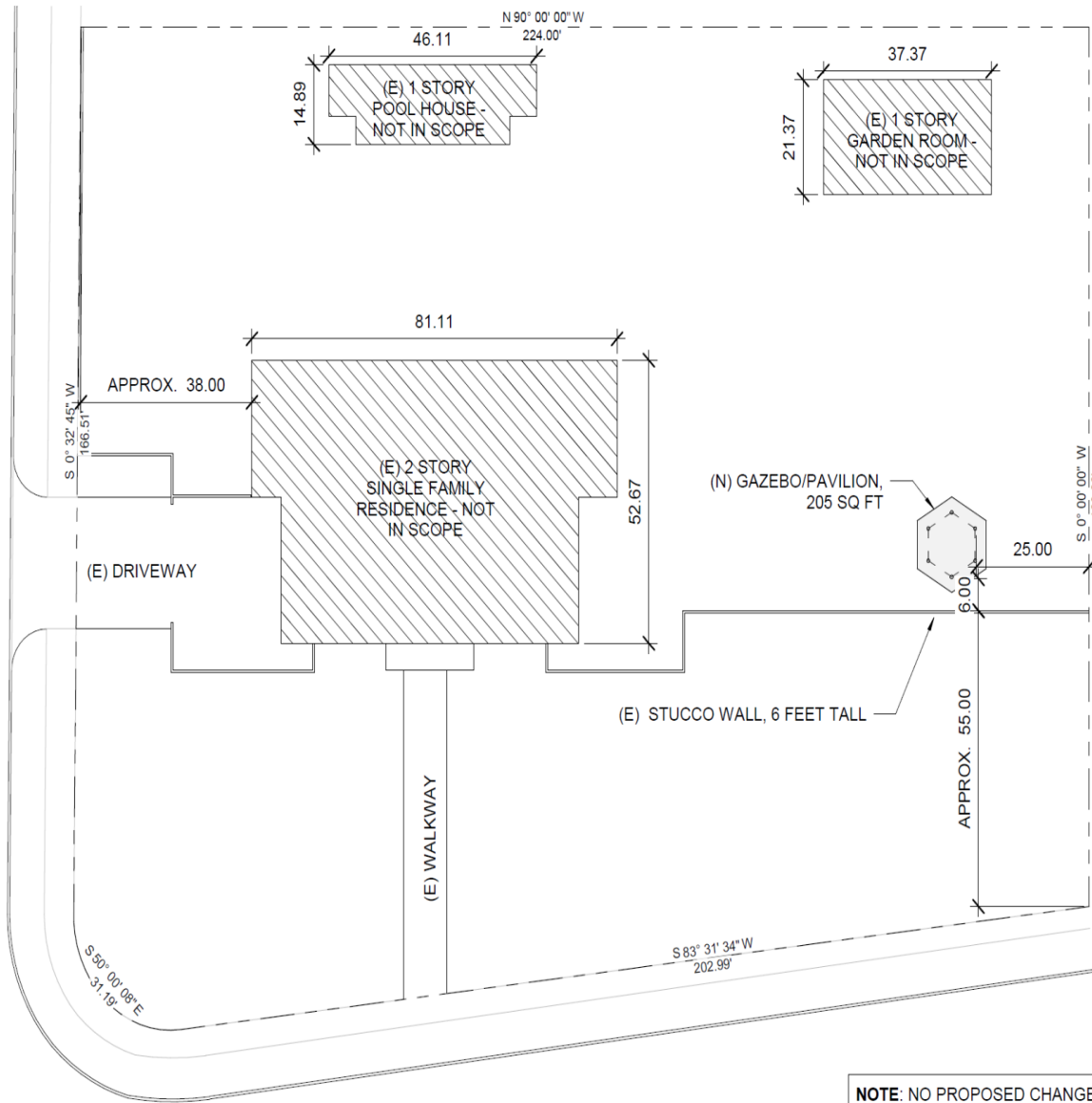


DATE: 03/23/2022
SCALE: 1" = 20'-0"

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
G000

SANTA CLARA AVENUE



NOTE: NO PROPOSED CHANGES TO FOOTPRINT OF (E) HOME, OTHER (E) STRUCTURES, OR LANDSCAPING.

HELIOTROPE DRIVE

HELIOTROPE PAVILION

2221 N. HELIOTROPE DR
SANTA ANA, CA 92706

OWNERS:
DR. CHAN KIEU & DR. QUYNH KIEU
2221 N. HELIOTROPE DR
SANTA ANA, CA 92706

ARCHITECT:
QUENTIN STANTON
ARCHITECTURE
1751 COLORADO BLVD. #333
LOS ANGELES, CA 90041
(323)625-7722
Q@QSTANTON.COM

STRUCTURAL ENGINEER:
NOUS ENGINEERING,
INC.
600 WILSHIRE BLVD, SUITE 760
LOS ANGELES, CA 90017
(213)627-6687

ISSUES:

NO.	DATE	DESCRIPTION
	12/03/21	PLANG DEPT. SUB.
Δ	03/23/22	HEIGHT REVISION



DATE: 03/23/2022

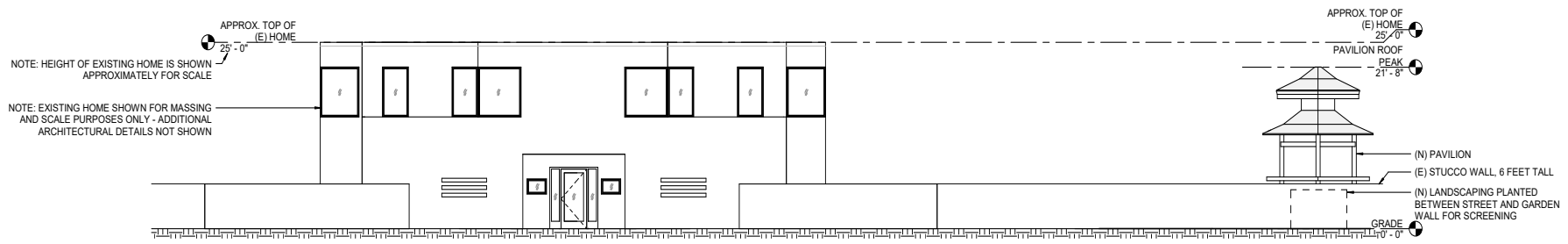
SCALE: 1/8" = 1'-0"

SHEET TITLE:

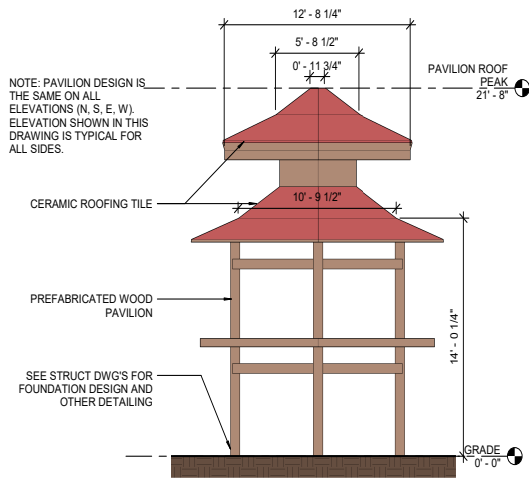
ELEVATION FROM HELIOTROPE

SHEET NUMBER:

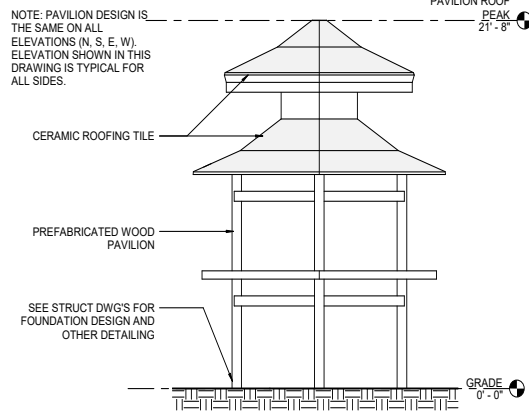
G100



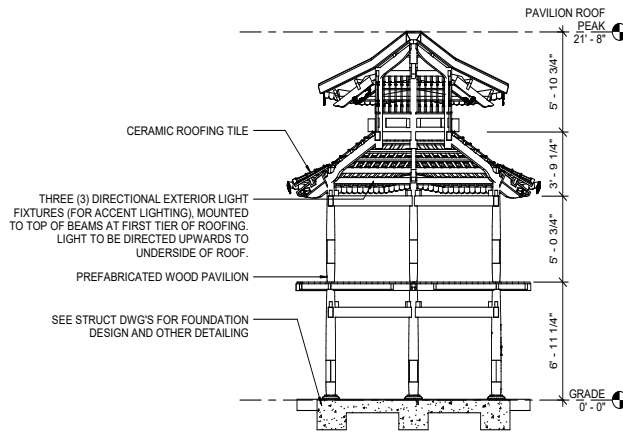
ELEVATION FROM HELIOTROPE SHOWN WITH HOME
1/8" = 1'-0"
3/28/2022
Planning Commission



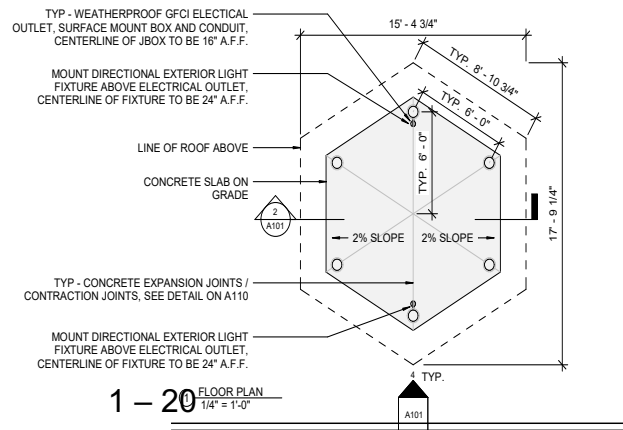
④ ELEVATION - TYP (COLORED)
1/4" = 1'-0"



③ ELEVATION - TYP
1/4" = 1'-0"



② SECTION N/S
1/4" = 1'-0"



1 - 20 FLOOR PLAN
1/4" = 1'-0"

NOTE:
- VERIFY DIMENSIONS OF PRECUT MEMBERS BEFORE FOUNDATION WORK (OR ANY OTHER WORK THAT RELIES ON FIT OR ALIGNMENT WITH PRECUT MEMBERS).

MECHANICAL/ELECTICAL/PLUMBING:
- NO MECH OR PLUMBING WORK PROPOSED.
- PROVIDE TWO GFCI ELECTRICAL RECEPTACLES IN WEATHERPROOF ENCLOSURE. SEE FLOOR PLAN.

LIGHTING:
- PROVIDE TIMER FOR LIGHTING, AUTO SHUTOFF OF PAVILION LIGHTING TO OCCUR PER ZONING REQUIREMENTS.
- ALL LIGHTS TO BE LED, 2700 OR 3000 KELVIN COLOR TEMPERATURE, MAX 800 LUMENS PER FIXTURE.

HELIOTROPE PAVILION

2221 N. HELIOTROPE DR
SANTA ANA, CA 92706

OWNERS:
DR. CHAN KIEU & DR. QUYNH KIEU
2221 N. HELIOTROPE DR
SANTA ANA, CA 92706

ARCHITECT:
QUENTIN STANTON
ARCHITECTURE
1751 COLORADO BLVD. #333
LOS ANGELES, CA 90041
(323)625-7722
Q@QSTANTON.COM

STRUCTURAL ENGINEER:
VOUS INC.
600 WILSHIRE BLVD, SUITE 760
LOS ANGELES, CA 90017
(213)627-6687

ISSUES:

NO.	DATE	DESCRIPTION
	12/03/21	PLANG DEPT. SUB.
Δ	03/23/22	HEIGHT REVISION



DATE: 03/23/2022

SCALE: 1/4" = 1'-0"

SHEET TITLE:

FLOOR PLAN, SECTION & ELEVATION

SHEET NUMBER:

A101



EXECUTIVE SUMMARY

THE MAHARAJAH HOUSE
2221 North Heliotrope Drive
Santa Ana, CA 92706

NAME	Maharajah House			REF. NO.
ADDRESS	2221 North Heliotrope Drive			
CITY	Santa Ana	ZIP	92706	ORANGE COUNTY
YEAR BUILT	1938	LOCAL REGISTER CATEGORY: Landmark		
HISTORIC DISTRICT	N/A	NEIGHBORHOOD	Floral Park	
NATIONAL REGISTER CRITERIA FOR EVALUATION	B,C	NATIONAL REGISTER STATUS CODE	3S	

Location: Not for Publication Unrestricted

Prehistoric Historic Both

ARCHITECTURAL STYLE: Moderne

The Moderne style encompassed the Modernistic, Streamlined Moderne, and Art Moderne variants. An evolution of the Art Deco style, the Streamlined Moderne flourished during the 1930s and lingered through the decade following World War II in a simplified version. In contrast to the verticality of earlier Art Deco designs, the Streamlined Moderne emphasized the horizontal, through bands of windows, use of decorative raised or incised horizontal lines, railings, flat canopies with banded fascia, and narrow coping at the roofline. Other characteristics include smooth wall surfaces, usually of stucco; metal detailing; glass block windows; rounded corners, porthole windows, and asymmetry. Incorporation of aerodynamic, transportation related imagery, especially nautical, is a signature of the style. In common with the Streamlined Moderne, Art Moderne buildings also tended to be horizontal in emphasis, but tended to be more clean-lined and rectilinear in their massing and detailing than their streamlined counterparts. Art Moderne designs can be recognized by their flat roofs, smooth stucco exteriors, and use of metal casement windows that often meet at the corners of the building.

SUMMARY/CONCLUSION:

The Maharajah House appears eligible for listing in the National Register of Historic Places and the California Register of Historical Resources. It also qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1, for its exemplification of the Art Moderne variant of the Moderne style, and under Criterion 4b, for its association with a foreign ruling family, the Holkars of Indore, India. The house also contributes to the historic character of the Floral Park neighborhood through its age, style, scale, and historic associations with prominent residents. Additionally, the house has been categorized as “Landmark” for its unique architectural significance as an example of the Art Moderne variant of the Moderne style and its historic/cultural significance to City as the “castle” of a sitting ruler. (Municipal Code, Section 30-2.2).

EXPLANATION OF CODES:

- National Register Criteria for Evaluation: (From Appendix 7 of Instructions for Recording Historical Resources, Office of Historic Preservation)
 - B:** that are associated with the lives of persons significant in our past.
 - C:** that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.
- National Register Status Code: (From Appendix 2 of Instructions for Recording Historical Resources, Office of Historic Preservation)
 - 3S:** Appears eligible for separate listing.

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code _____

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 1 of 4 Resource name(s) or number (assigned by recorder) *Maharajah House*

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*b. USGS 7.5' Quad

*c. Address *2221 North Heliotrope Drive*

*e. Other Locational Data: *Assessor's Parcel Number: 002-081-45; TR 1036 Lot: 18 and Lot: 19*

*a. County *Orange County*

Date:

City *Santa Ana*

Zip *92706*

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

Located on a double lot on the southeast corner of Heliotrope Drive and Santa Clara Avenue, the Maharajah House is a two-story residence representative of the Art Moderne variant of the Moderne style. A flat roof accented by a thin band at the roofline tops the "T" shaped building, which is finished in smooth stucco. Walls extend to the north and south to enclose gardens and patios. The massing of the structure suggests an assemblage of cubic volumes and reflects the influence of the emerging International Style of architecture. The northwest and southwest corners of the second story of the facade are cut away, creating terraces that are seamlessly integrated into the massing. Horizontal lines are emphasized through the roofline banding, similar banding around the terrace parapets, and architectural details such as window grilles and canopies. A notable feature, and one highly characteristic of the style, is the use of multi-light metal casement windows that wrap the corners of the building. Located at the approximate center of the façade and flanked by pilasters scored to resemble masonry, the tripartite entry is deeply recessed and decorated in an intricate, geometric pattern. An alleé of palms is paved in stone and spans the deep front lawn from the sidewalk to the entrance. On the north elevation, painted wrought iron gates shield the garage. On the south, a bronze equestrian statue is just visible behind the garden wall. In excellent condition, the property is substantially unaltered on the exterior.

*P3b. Resource Attributes: (list attributes and codes) *HP2. Single-family Property*

*P4. Resources Present: Building Structure Object Site District Element of District Other

P5a. Photo



*P5b. Photo: (view and date)
*South and west elevations
 April 2003*

*P6. Date Constructed/Age and Sources: historic
*1938/Source: City of Santa Ana
 Building Permits*

*P7. Owner and Address:
*Chan Q & Quynh Kieu
 2221 North Heliotrope Drive
 Santa Ana, CA 92706*

*P8. Recorded by:
*Leslie J. Heumann
 SAIC
 35 S. Raymond Ave. # 204
 Pasadena, CA 91105*

*P9. Date Recorded:
May 25, 2003

*P10. Survey Type:
Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none")
None.

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or #: *Maharajah House*

- B1. Historic Name: *Maharajah House*
- B2. Common Name: *Same*
- B3. Original Use: *Single-family Residence*
- B4. Present Use: *Single-family Residence*

*B5. Architectural Style: *Moderne*

*B6. Construction History: (Construction date, alterations, and date of alterations): *Constructed in 1938-1939.*
December 14, 1938. 12 room frame & stucco residence and garages.
May 6, 1941. Reroof.
March 15, 1955. Swimming pool.
May 24, 1955. Cabana for swimming pool.
January 24, 1989. 6' high bolock wall.
July 21, 1993. Add 2 bedrooms and 1 bath, 319 square feet.
September 15, 1997. Reroof.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features:

Garage, garden walls, mature landscaping, statue if original.

B9a. Architect: *Donald Beach Kirby*

b. Builder: *Allison Honer*

*B10. Significance: Theme *Residential Architecture*

Area *Santa Ana*

Period of Significance: *circa 1888-1953* Property Type: *Single-family Residence*

Applicable Criteria: *B, C*

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The Maharajah House is architecturally significant as an exceptional example of the residential use of the Art Moderne variant of the Moderne style, one of the best in Orange County. It is historically significant for its association with the Maharajah of Indore, the hereditary ruler of a central Indian state and reputedly one of the richest men in the world at time. Designed by architect Donald Beach Kirby of Balboa, the house was built in 1938-1939 by prominent Santa Ana contractor Allison Honer for \$40,000 according to the building permit, although the local press reported the cost of construction as \$50,000 and of the furnishings as \$150,000.

(See Continuation Sheet 3 of 4.)

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

City of Santa Ana Building Permits
Santa Ana History Room Collection, Santa Ana Public Library
Sanborn Maps

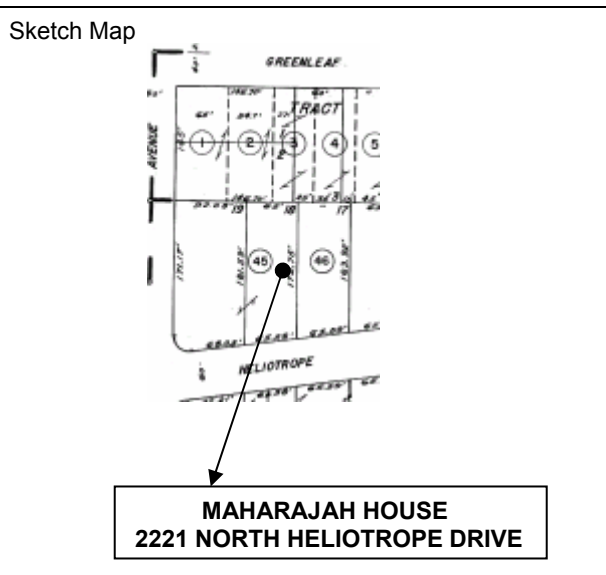
(See Continuation Sheet 4 of 4.)

B13. Remarks:

*B14. Evaluator: *Leslie J. Heumann*

*Date of Evaluation: *May 25, 2003*

(This space reserved for official comments.)



***B10. Significance (continued):**

Even before the house was constructed, Yeshwant Rao Holkar, the Maharajah, had captured the public imagination. Educated at Oxford, the Maharajah had been traveling in the United States in 1936, had taken ill in Los Angeles, and had been nursed by Marguerite Lawler Branyan, an American divorcee. They married in 1938, following the death of the Maharajah's first wife in 1937. In search of a safe haven prior to the beginning of World War II, the Maharajah decided to settle his young daughter, Princess Usha, and his new wife in Santa Ana. The large home, one of several owned by the Maharajah, was protected by high walls and by interior and exterior gates. According to one account, the Maharajah's instructions to Allison Honer, the prominent Orange County builder who lived across the street from the property at 615 West Santa Clara Avenue, were to build a modern, but not too severe refuge. Lavishly appointed, the house contained, in 1986 when it was the International Society of Interior Designers Orange County Chapter Design House: three bedroom suites, eight bathrooms, four fireplaces, a grand foyer, spacious living room, formal dining room, library, solarium, kitchen, butler's pantry, pool house (added later), servants' and guards' quarters, and an attached garage.

Said to be a progressive ruler who instituted many reforms, the Maharajah had governed Indore since the abdication of his father in his favor in 1926. The Maharajah and his American Maharani returned to India following an only one-year residence in the house, leaving Princess Usha in the care of a governess in Santa Ana, where she continued to attend public schools. The pair divorced in 1943. The Maharajah married again, to another American, who bore him four children including a male heir, but Princess Usha, as the only offspring born of an Indian woman, succeeded her father as ruler in 1961 following the death of her father. Marguerite, who also remarried, remained in the house until 1952. As of 1994, according to one account (Marsh), Princess Usha occupied one of the Holkar's hereditary palaces in India, although, other information ("Indore: The Holkar Dynasty") indicates that she was stripped of her rank and titles by the Indian state in 1970

The Maharajah House is located in Floral Park, a neighborhood northwest of downtown Santa Ana bounded by West Seventeenth Street, North Flower Street, Riverside Drive, and Broadway. Groves of oranges, avocados, and walnuts and widely scattered ranch houses characterized this area before 1920. Developer and builder Allison Honer (1897-1981), credited as the subdivider and builder of a major portion of northwest Santa Ana, arrived in Santa Ana from Beaver Falls, New York in 1922 (Talbert, pages 353-356). "Before nightfall on the day of his arrival, Mr. Honer purchased a parcel of land. And that month, he began building custom homes in Santa Ana" (Orange County Register, September 15, 1981). The parcel chosen became the Floral Park subdivision between Seventeenth Street and Santiago Creek. "When built in the 1920s, the Floral Park homes were the most lavish and expensive in the area. They sold for about \$45,000 each" (Orange County Register, September 15, 1981). Revival architecture in a wide variety of romantic styles was celebrated in the 1920s and 1930s and Floral Park showcased examples of the English Tudor, French Norman, Spanish Colonial, and Colonial Revival. The Allison Honer Construction Company went on to complete such notable projects as the 1935 Art Deco styled Old Santa Ana City Hall, the El Toro Marine Base during World War II, and the 1960 Honer Shopping Plaza. Honer lived in the neighborhood he had helped to create, at 615 West Santa Clara Avenue.

In the late 1920s and 1930s, another builder, Roy Roscoe Russell (1881-1965), continued developing the groves of Floral Park. An early Russell project was his 1928 subdivision of Victoria Drive between West Nineteenth Street and West Santa Clara Avenue. The homes were quite grand and displayed various revival styles, including Russell's own large, Colonial Revival mansion at 2009 Victoria Drive. In the early post World War II years, Floral Park continued its development as numerous, smaller, single-family houses were built. Continuing in the Floral Park tradition, they were mostly revival in style. In the 1950s, low, horizontal Ranch Style houses completed the growth of Floral Park. Today (2003) Floral Park maintains its identity as the premier neighborhood of Santa Ana, historically home to many affluent and prominent citizens.

The Maharajah House appears eligible for listing in the National Register of Historic Places and the California Register of Historical Resources. It also qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for its exemplification of the Art Moderne variant of the Moderne style and under Criterion 4b for its association with a foreign ruling family, the Holkars of Indore, India. Architecturally, the house is distinguished by its scale, massing, horizontal lines, use of characteristic features such as corner casement windows, and its fortress-like quality. The house also contributes to the historic character of the Floral Park neighborhood through its age, style, scale, and historic associations with prominent residents. Additionally, the house has been categorized as "Landmark" for its unique architectural significance as an example of the Art Moderne variant of the Moderne style and its historic/cultural significance to City as the "castle" of a sitting ruler. All original exterior features of the Maharajah House are considered character defining and should be preserved. These features include, but may not be limited to: materials and finishes (stucco, wrought iron); roof configuration, materials, and treatment; massing and composition; entry, doors and windows; terraces and walled gardens; architectural detailing (banding, window grilles, canopies, entry surround); chimneys and fireplaces; attached garage; original landscaping; and any original interior materials, spaces, finishes, and furnishings.

***B12. References (continued):**

Harris, Cyril M. American Architecture: An Illustrated Encyclopedia. New York, WW Norton, 1998.
Marsh, Diann. Santa Ana, An Illustrated History. Encinitas, Heritage Publishing, 1994.
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Office of Historic Preservation. "Instructions for Recording Historical Resources." Sacramento: March 1995.
"Alison Honer Dies at 84," The Santa Ana Journal, September 21, 1981.
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Pleasants, Mrs. J. E. History of Orange County, California, volume 3. Los Angeles: J. R. Finnell & Sons, 1931.
Orange County Directories, 1928-1952.
Dodd, Richard H. "Art Moderne Style: Fit For a Prince." Orange County Home, Volume 4 Number 5, May 2003.
Farrar, Robert S. "In the Days of the Maharajah . . . Santa Ana's Storybook Romance." Orange County Illustrated, October 1972.
"India Princess, 5, Will Have a \$50,000 Home in Santa Ana." Los Angeles Examiner, December 16, 1938.
"Maharajah's \$50,000 Palace to be Built in Santa Ana." Santa Ana Daily Register, December 15, 1938.
"Where a Maharajah Lives in California." Los Angeles Times, August 4, 1940.
International Society of Interior Designers Orange County Chapter. "Design House 1986." Brochure.
"Indore." www.maharaja.freewerve.co.uk/indore.html.
"Indore: The Holkar Dynasty." www.dreamwater.net/regiment/RoyalArk/India/indore4.htm.
"Once upon a time in Indore." www.rediff.com/election/1999/sep/15column.htm.

P5b. Photograph: *North and west elevations, April 2003.*



RESOLUTION NO. 2003-15

A RESOLUTION OF THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA PLACING THE PROPERTIES LOCATED AT 2221 NORTH HELIOTROPE DRIVE, 2473 NORTH HELIOTROPE DRIVE, AND 475 NORTH LACY STREET ON THE HISTORICAL REGISTER AND PLACING WITHIN AN ESTABLISHED CATEGORY

BE IT RESOLVED BY THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Historic Resources Commission of the City of Santa Ana hereby finds, determines and declares as follows:

- A. The Maharajah House, located at 2221 North Heliotrope Drive, Santa Ana is eligible for inclusion on the Register as it exemplifies the Art Moderne variant of the Moderne style, a simplified version that flourished during the 1930s through World War II.
1. Additionally, it is eligible for its association with a foreign ruling family, the Holkars of Indore, India. The Maharajah of Indore was the hereditary ruler of a central Indian state.
 2. Constructed in 1938, the structure is eligible to be placed within the Landmark category for its unique architectural significance as an intact example of the Art Moderne style as well as its historical/cultural significance to the City as a "castle" for a sitting ruler.
 3. This unique two-story stucco residence has a flat roof accented by a thin parapet band that emphasizes the horizontal lines and "T" shaped cubic architectural design. Other characteristic style features are the cut away building corners that create second floor terraces, multi-light casement windows and the window grilles and canopies.
 4. The structure appears to be eligible for placement on the National and California Registers.
 5. The legal owners of the subject are Chan Q & Quynh Kieu.

6. The legal description for the subject property is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.
- B. The Robertson House, located at 2473 North Heliotrope Drive, Santa Ana was constructed in 1905. It is eligible for inclusion on the Register as it exemplifies a once common but now rare early twentieth century farmhouse with design characteristics of the Craftsman and Colonial Revival styles.
1. The house also contributes to the historic character of the Floral Park neighborhood through its age, style, scale and historic association with the agricultural origins of the area.
 2. Notable architectural features of the two-story rectangular structure include a side-gabled roof, wide shiplap siding, double hung windows with shutters and a nearly symmetrical façade.
 3. The house has been determined eligible for listing in the National Register and is listed on the California Register as a contributor to a North Broadway Park historic district.
 4. The legal owners of the subject are William A & Phyllis A Smith.
 5. The legal description for the subject property is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.
- C. Pacific Electric Substation # 14, located at 475 North Lacy Street, Santa Ana was constructed in 1907. The Pacific Electric Substation qualifies for listing on the Register for its association with the Pacific Electric Railway system that began passenger service to Santa Ana in 1905 and influenced the growth in Santa Ana as well as the surrounding communities until the service to Santa Ana ceased in 1950.
1. The substation, also qualifies for the Register as a structure with distinguishing characteristics of early twentieth century industrial design.
 2. The brick construction, symmetrical composition, segmental arched openings, buttresses and piers illustrate the one-story structure's Romanesque Revival style.
 3. The substation is on the National and State Registers and for its historic/cultural significance to the City.
 4. Additionally, it is the oldest extant building associated with the Orange County "Red Car" operation.

5. The legal owner of the subject is the Santa Ana Unified School District.
6. The legal description for the subject property is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.

Section 2: The subject properties meet the minimal standards and are hereby placed on the City of Santa Ana Register of Historic Property pursuant to Section 30-2 of the Santa Ana Municipal Code.

Section 3: The subject properties meet the minimal standards and are hereby placed in the landmark category pursuant to Section 30-2.2(1) of the Santa Ana Municipal Code.

Section 4: For the subject properties, a report entitled "Historical Property Description," is on file in the office of the Clerk of the Council, and are hereby approved and adopted, and together with the staff report and this resolution, justify the findings for placement on the City of Santa Ana Register of Historical Property in the Landmark category. The Clerk of the Council is authorized and directed to include this resolution in the City of Santa Ana Register of Historical Property.

Section 5. The Commission Secretary is hereby directed to file a certified copy of this Resolution with the County Recorder's Office after the adoption of this Resolution pursuant to Public Resources Code Section 5029.

Section 6. This Resolution shall take effect immediately upon its adoption by the Historic Resources Commission, and the Commission Secretary shall attest to and certify the vote adopting this Resolution.

ADOPTED this 7th day of August, 2003 by the following vote:

AYES:	Commission members:	Corpin, Gartner, giles, Kings, Lutz, O'Callaghan, Schaefer (7)
NOES:	Commission members:	None (0)
ABSTENTION:	Commission members:	Chinn (1)
NOT PRESENT:	Commission members:	Bustamante (1)

ATTEST:



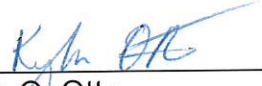
Laura Johnson
Commission Secretary
Planning and Building Agency



Paul D. Giles
Chairperson

EXEMPT FROM FEES PURUSANT
TO GOVERNMENT CODE § 6103

APPROVED AS TO FORM:
Joseph W. Fletcher, City Attorney

By: 
Kylee O. Otto
Deputy City Attorney

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, LAURA JOHNSON, Commission Secretary, do hereby attest to and certify the attached Resolution No. 2003-15 to be the original resolution adopted by Historic Resources Commission of the City of Santa Ana on August 7, 2003.

Date: 8/7/03


Commission Secretary
City of Santa Ana

**LEGAL DESCRIPTIONS RESOLUTION NO. 2003-15
LANDMARK**

For the Month of August 2003

	Address	Owner Name	Legal Description
1.	2221 North Heliotrope Drive	Chan Q & Quynh Kieu	APN: 002-081-45; TR 1035 LOT 18 AND LOT 19
2.	2473 North Heliotrope Drive	William A & Phyllis A Smith	APN: 002-064-36; N TR 754 LOT 28
3.	475 North Lacy Street	Santa Ana Unified School District	APN: 398-336-16; LACYS ADD BLK B LOT 14 SURFACE AND 500 FT SUBSURFACE VERTICALLY

RESOLUTION NO. 2004-012

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA ANA PLACING THE PROPERTY LOCATED AT 2221 NORTH HELIOTROPE DRIVE ON THE SANTA ANA REGISTER OF HISTORIC PORPERTIES AND PLACING WITHIN AN ESTABLISHED CATEGORY (APPEAL NO. 2003-07)

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The City Council of the City of Santa Ana hereby finds, determines and declares as follows:

- A. On August 7, 2003, the Historic Resources Commission held a duly public hearing to place the property located at 2221 North Heliotrope Drive on the Santa Ana Register of Historic Properties and to categorize the property as Landmark.
1. During the hearing, the property owners, Chan and Quynh Kiev, expressed opposition to placing their home on the local Historic Register.
 2. On September 4, 2003 the Historic Resources Commission continued the matter until October 2, 2003.
 3. On October 2, 2003 the Historic Resources Commission, by a vote of 7:0 (Chinn and Bustamante absent) placed the property on the Santa Ana Register of Historic Properties and categorized the property as Landmark.
- B. Applicant filed an appeal (Appeal No. 2003-07) of the Historic Resources Commission decision to the City Council of the City of Santa Ana.
- C. On December 1, 2003 the City Council of the City of Santa Ana held a duly noticed public hearing on Appeal No. 2003-07, regarding placing the property located at 2221 North Heliotrope Drive on the Santa Ana Register of Historic Properties, Historic Resources Commission Application No. 2003-30, and placing the property into an established category, Historic Register Categorization No. 2003-34. The City Council continued the public hearing to January 5, 2004, and further continued the public hearing to January 20, 2004. The public hearing was closed on January 20, 2004 and the matter was continued to the February 2, 2004 Council meeting.

- D. The Maharajah House, located at 2221 North Heliotrope Drive, Santa Ana is eligible for inclusion on the Santa Ana Register of Historical Properties as it exemplifies the Art Moderne variant of the Moderne style, a simplified version that flourished during the 1930s through World War II.
1. Additionally, it is eligible for the Santa Ana Register of Historical Properties for its association with a foreign ruling family, the Holkars of Indore, India. The Maharajah of Indore was the hereditary ruler of a central Indian state.
 2. Constructed in 1938, the structure is eligible to be placed within the Landmark category for its unique architectural significance as an intact example of the Art Moderne style as well as its historical/cultural significance to the City as a "castle" for a sitting ruler.
 3. This unique two-story stucco residence has a flat roof accented by a thin parapet band that emphasizes the horizontal lines and "T" shaped cubic architectural design. Other characteristic style features are the cut away building corners that create second floor terraces, multi-light casement windows and the window grilles and canopies.
 4. The structure appears to be eligible for placement on the National and California Registers.
 5. The legal owners of the subject are Chan Q & Quynh Kieu.
 6. The legal description for the subject property is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.
 7. The subject property meets the minimal standards for placement on the City of Santa Ana Register of Historic Properties pursuant to Section 30-2 of the Santa Ana Municipal Code.
 8. The subject property meets the minimal standards for placement in the landmark category pursuant to Section 30-2.2(1) of the Santa Ana Municipal Code.

Section 2: In accordance with the California Environmental Quality Act, the recommended action is exempt from further review. Categorical Exemptions will be filed for this project.

Section 3: The City Council of the City of Santa Ana after conducting the public hearing hereby approves Historic Resources Commission Application No. 2003-30, which placing the property located at 2221 North Heliotrope Drive on the Santa Ana Register of Historic Properties, and Historic Register Categorization No. 2003-34, which

places the property into the Landmark category. This decision is based upon the evidence submitted at the abovesaid hearing, which includes but not is not limited to: the Staff report and exhibits attached thereto; a report entitled "Historical Property Description;" and the public testimony all of which are incorporated herein by this reference.

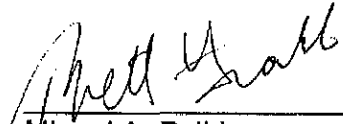
Section 4. This decision rendered by the City Council of the City of Santa Ana is final and is subject to judicial review pursuant to California Code of Civil Procedure section 1094.6.

Section 5: For the subject property, a report entitled "Historical Property Description," is on file in the department of Planning and Building, and is hereby approved and adopted, and together with the staff report and this resolution, justify the findings for placement on the City of Santa Ana Register of Historical Properties in the Landmark category. The Clerk of the Council is authorized and directed to include this resolution in the City of Santa Ana Register of Historical Properties.

Section 6. The Historic Resources Commission Secretary is hereby directed to file a certified copy of this Resolution with the County Recorder's Office after the adoption of this Resolution pursuant to Public Resources Code Section 5029.

Section 7. This Resolution shall take effect immediately upon its adoption by the City Council of the City of Santa Ana, and the Clerk of the Council shall attest to and certify the vote adopting this Resolution.

ADOPTED this 2nd day of February, 2004



Miguel A. Pulido
Mayor

APPROVED AS TO FORM:
Joseph W. Fletcher, City Attorney

By: 

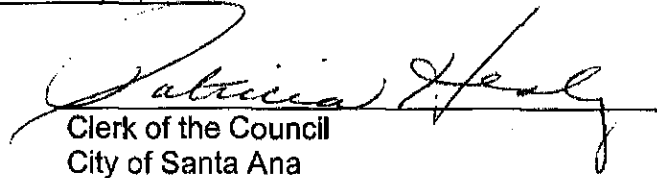
Kylee D. Otto
Deputy City Attorney

AYES: Councilmembers: Alvarez, Bist, Christy Franklin, Garcia, Solorio (6)
NOES: Councilmembers: None (0)
ABSTAIN: Councilmembers: None (0)
NOT PRESENT: Councilmembers: Pulido (1)

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, PATRICIA E. HEALY, Clerk of the Council, do hereby attest to and certify the attached Resolution No. 2004-012 to be the original resolution adopted by the City Council of the City of Santa Ana on February 2, 2004.

Date: 2-10-04


Clerk of the Council
City of Santa Ana

**LEGAL DESCRIPTIONS RESOLUTION NO 2004-012
LANDMARK**

	Address	Owner Name	Legal Description
1.	2221 North Heliotrope Drive	Chan Q & Quynh Kieu	APN: 002-081-45; TR 1035 LOT 18 AND LOT 19

Exhibit A

Resolution No. 2004-012
Page 5 of 5

ORANGE COUNTY REPORTER

~SINCE 1921~

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COPY OF NOTICE

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03/16/2022

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OR# 3566077

NOTICE OF PUBLIC HEARING BEFORE THE SANTA ANA PLANNING COMMISSION

The City of Santa Ana encourages the public to participate in the decision-making process. We encourage you to contact us prior to the Public Hearing if you have any questions.

Planning Commission - Action: The Planning Commission will hold a Public Hearing to receive public testimony, and will take action on the item described below. Decision on this matter will be final unless appealed within 10 calendar days of the decision by any interested party or group.

Project Location: 2221 N Heliotrope Drive
Project Applicant: Chan Quang and Quynh Dinh Kieu (Property Owners)

Proposed Project: The applicant is requesting approval of Conditional Use Permit (CUP) No. 2022-06 to allow the construction of an accessory structure 23' - 4" in height within the rear yard of an existing single-family residence located at 2221 North Heliotrope Drive. Pursuant to Section 41-232.5 of the Santa Ana Municipal Code (SAMC), accessory buildings more than fifteen feet in height or more than one story require approval of a CUP.

Environmental Impact: Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15303 of the CEQA Guidelines (Class 3/New Construction or Conversion of Small Structures) because the project involves the construction of a small accessory structure. Based on this analysis, Notice of Exemption, Environmental Review No. 2022-11 will be filed for this project.

Meeting Details: This matter will be heard on **Monday, March 28, 2022 at 5:30 p.m. ROSS ANNEX 20 Civic Center Plaza, Room 1600** Santa Ana, CA 92701. **Members of the public may attend this meeting in-person or join via Zoom.** For the most up to date information on how to participate virtually in this meeting, please visit www.santa-ana.org/pb/meeting-participation.

Written Comments: If you are unable to participate in the meeting, you may send written comments by e-mail to PBACComments@santa-ana.org (reference the Agenda Item # in the subject line) or mail to Christina Leonard, Recording Secretary, City of Santa Ana, 20 Civic Center Plaza - M20, Santa Ana, CA 92701. Deadline to submit written comments is **4:00 p.m.** on the day of the meeting. Comments received after the deadline may not be distributed to the Commission but will be made part of the record.

Where To Get More Information: Additional details regarding the proposed action(s), including the full text of the discretionary item, may be found on the City website 72 hours prior to the public hearing at: <https://santa-ana.primegov.com/public/portal>.

Who To Contact For Questions: Should you have any questions, please contact Pedro Gomez with the Planning and Building Agency at PGomez@santa-ana.org or 714-667-2790.

Note: If you challenge the decision on the above matter, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission or City Council of the City of Santa Ana at, or prior to, the public hearing.

Si tiene preguntas en español, favor de llamar a Narcadalia Perez (714) 667-2260.

Nếu có thắc mắc bằng tiếng Việt, xin liên hệ cho Tony Lai số (714) 565-2627.

Internal Reference Only:

REF#
Publish: OC Reporter
Date: March 16, 2022
3/16/22

OR-3566077#



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3/28/2022

Planning Commission



CITY OF SANTA ANA Planning and Building Agency

20 Civic Center Plaza • P.O. Box 1988
Santa Ana, California 92702
www.santa-ana.org/pba

NOTICE OF PUBLIC HEARING BEFORE THE SANTA ANA PLANNING COMMISSION

The City of Santa Ana encourages the public to participate in the decision-making process. This notice is being sent to those who live or own property within 500 feet of the project site or who have expressed an interest in the proposed action. We encourage you to contact us prior to the Public Hearing if you have any questions.

Planning Commission Action: The Planning Commission will hold a Public Hearing to receive public testimony, and will take action on the item described below. Decision on this matter will be final unless appealed within 10 calendar days of the decision by any interested party or group.

Project Location: 2221 N. Heliotrope Drive

Project Applicant: Chan Quang and Quynh Dinh Kieu (Property Owners)

Proposed Project: The applicant is requesting approval of Conditional Use Permit (CUP) No. 2022-06 to allow the construction of an accessory structure 23' – 4" in height within the rear yard of an existing single-family residence located at 2221 North Heliotrope Drive. Pursuant to Section 41-232.5 of the Santa Ana Municipal Code (SAMC), accessory buildings more than fifteen feet in height or more than one story require approval of a CUP.

Environmental Impact: Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15303 of the CEQA Guidelines (Class 3/New Construction or Conversion of Small Structures) because the project involves the construction of a small accessory structure. Based on this analysis, Notice of Exemption, Environmental Review No. 2022-11 will be filed for this project.

Meeting Details: This matter will be heard on **Monday, March 28, 2022 at 5:30 p.m.** in the City Council Chambers, 22 Civic Center Plaza, Santa Ana, CA 92701. **Members of the public may attend this meeting in-person or join via Zoom.** For the most up to date information on how to participate virtually in this meeting, please visit www.santa-ana.org/pb/meeting-participation.

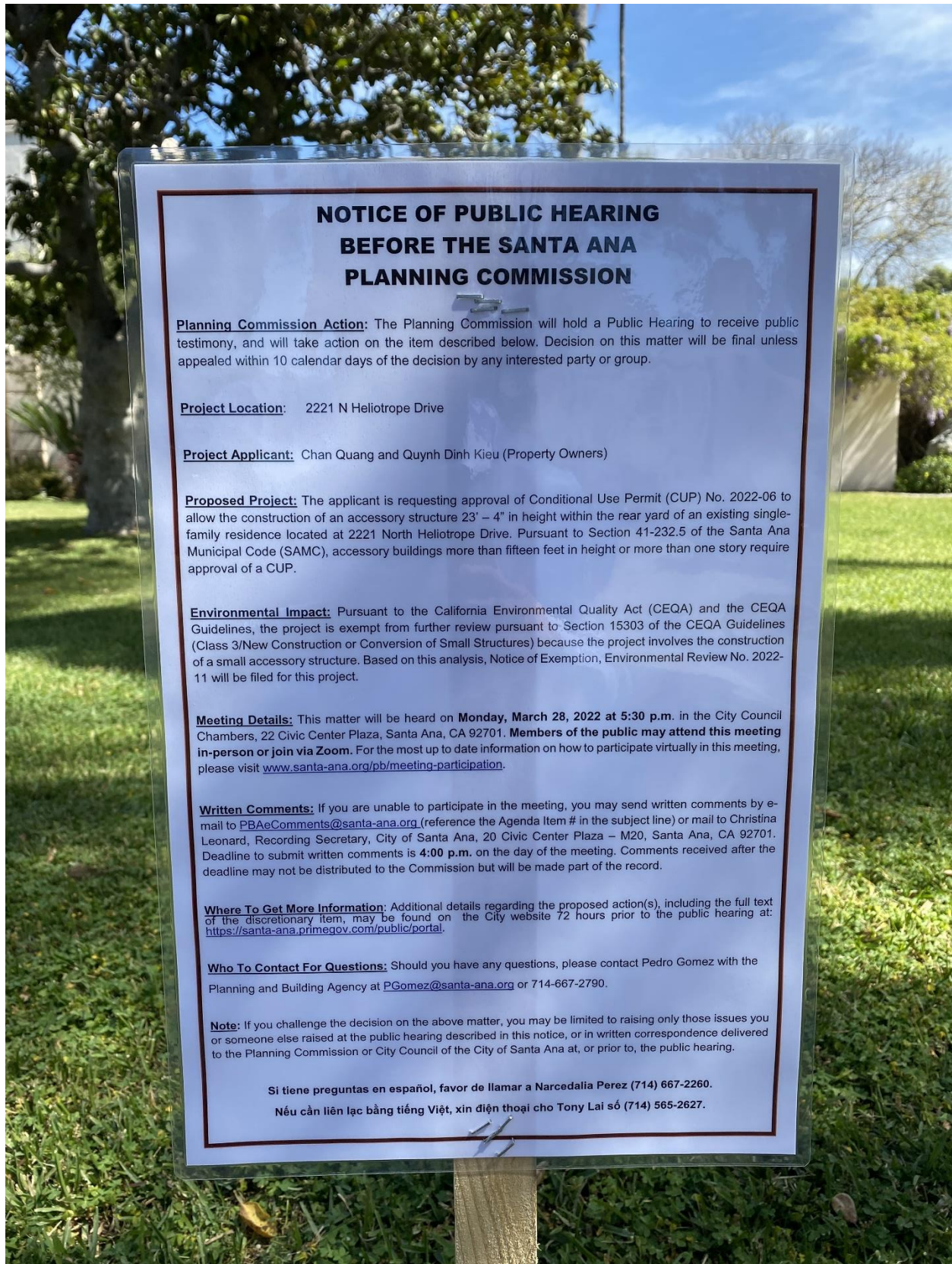
Written Comments: If you are unable to participate in the meeting, you may send written comments by e-mail to PBaComments@santa-ana.org (reference the Agenda Item # in the subject line) or mail to Christina Leonard, Recording Secretary, City of Santa Ana, 20 Civic Center Plaza – M20, Santa Ana, CA 92701. Deadline to submit written comments is **4:00 p.m.** on the day of the meeting. Comments received after the deadline may not be distributed to the Commission but will be made part of the record.

Where To Get More Information: Additional details regarding the proposed action(s), including the full text of the discretionary item, may be found on the City website 72 hours prior to the public hearing at: <https://santa-ana.primegov.com/public/portal>.

Who To Contact For Questions: Should you have any questions, please contact Pedro Gomez with the Planning and Building Agency at PGomez@santa-ana.org or 714-667-2790.

3/28/2022

Planning Commission



**NOTICE OF PUBLIC HEARING
BEFORE THE SANTA ANA
PLANNING COMMISSION**

Planning Commission Action: The Planning Commission will hold a Public Hearing to receive public testimony, and will take action on the item described below. Decision on this matter will be final unless appealed within 10 calendar days of the decision by any interested party or group.

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Si tiene preguntas en español, favor de llamar a Narcedalia Perez (714) 667-2260.

Nếu cần liên lạc bằng tiếng Việt, xin điện thoại cho Tony Lai số (714) 565-2627.

